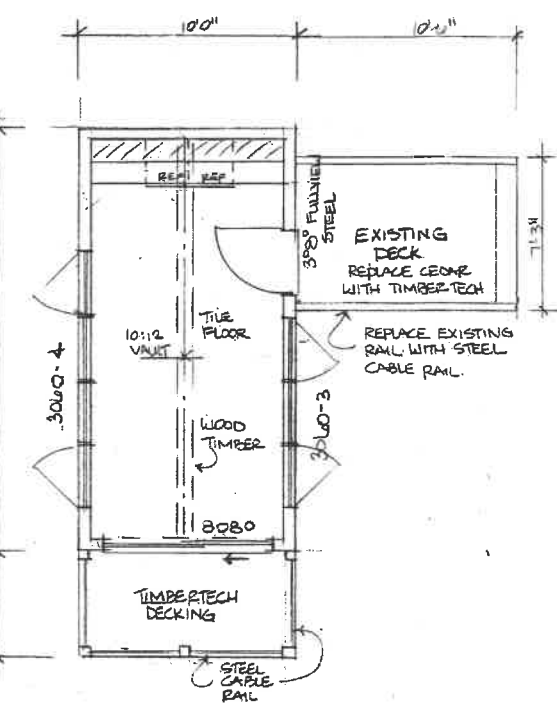
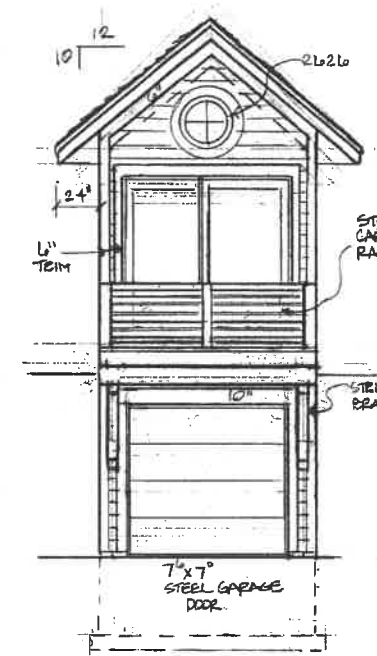


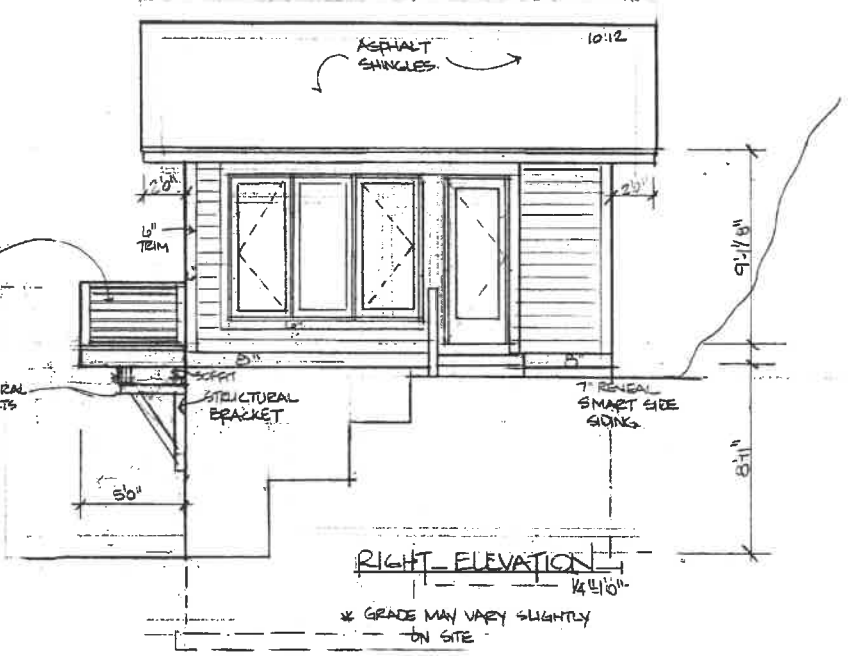
FOUNDATION  
1/4"=1'-0"



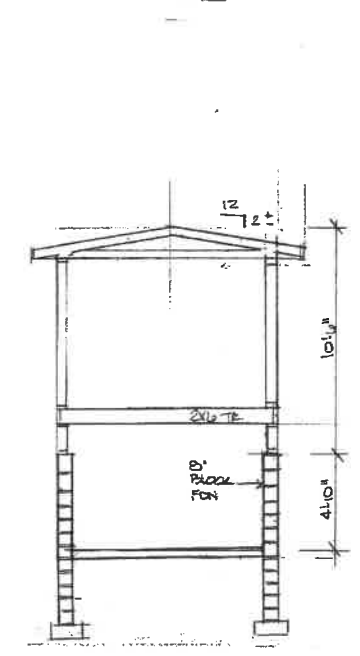
MAIN FLOOR PLAN  
1/4"=1'-0"



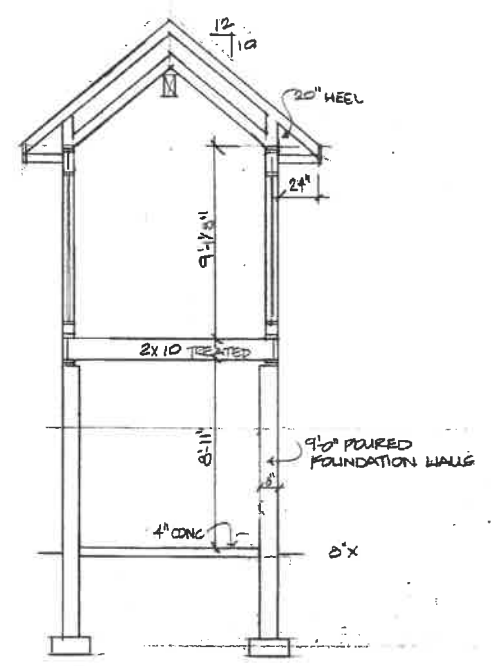
FRONT ELEVATION  
1/4"=1'-0"



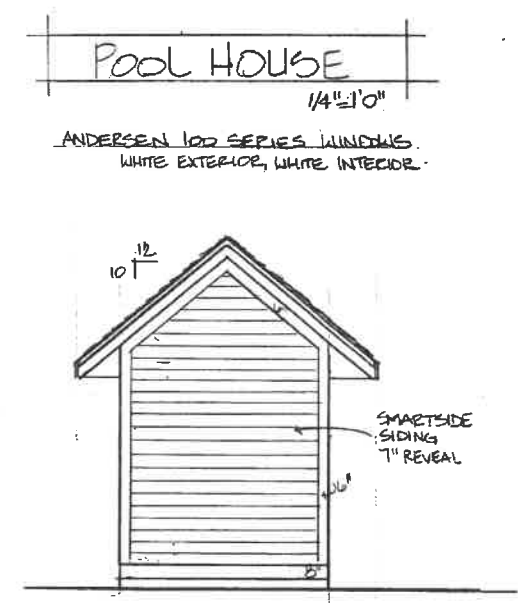
RIGHT ELEVATION  
1/4"=1'-0"  
\* GRADE MAY VARY SLIGHTLY ON SITE



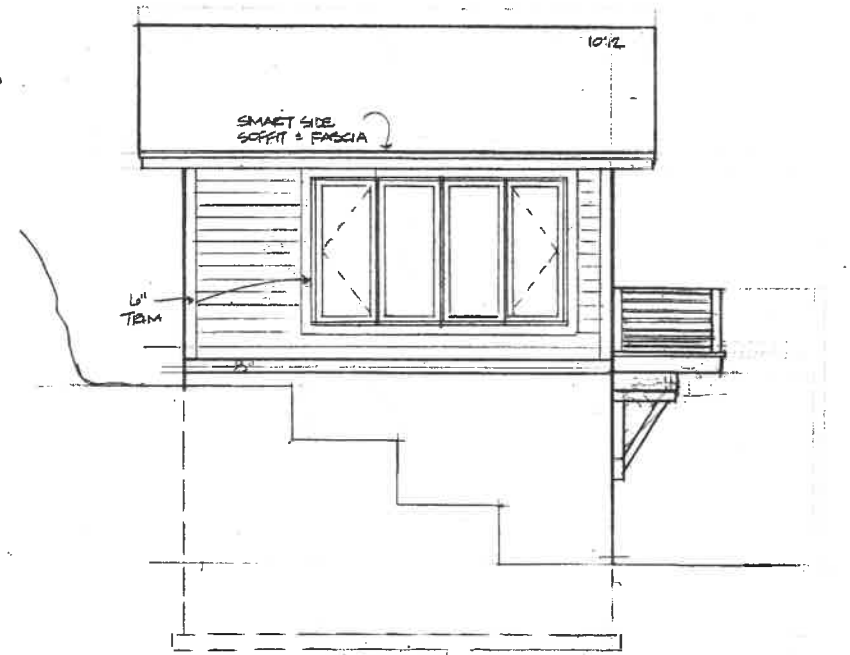
EXISTING BUILDING  
1/4"=1'-0"



PROPOSED BUILDING  
1/4"=1'-0"



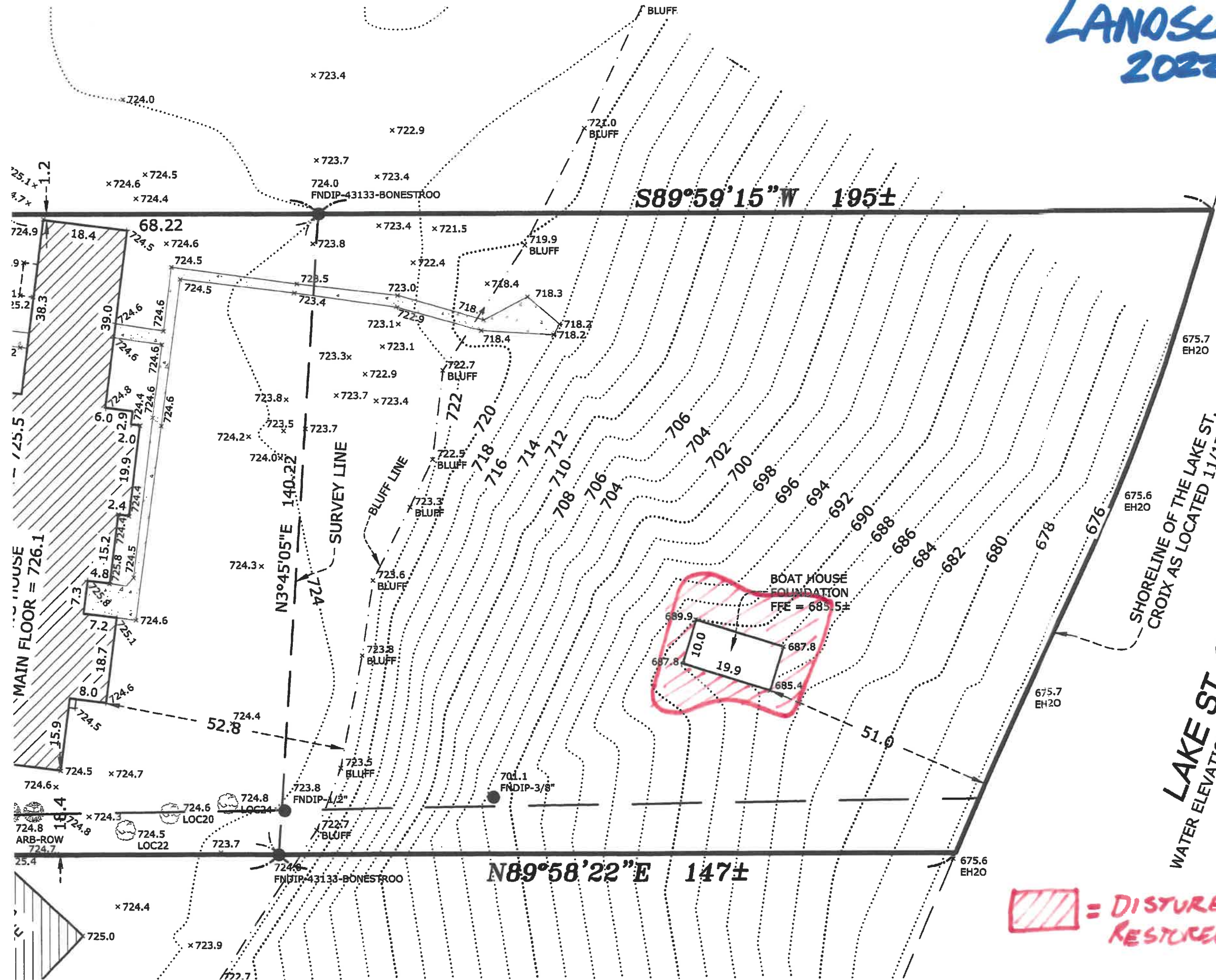
POOL HOUSE  
1/4"=1'-0"  
ANDERSEN 102 SERIES WINDOWS.  
WHITE EXTERIOR, WHITE INTERIOR.  
REAR ELEVATION  
1/4"=1'-0"



LEFT ELEVATION  
1/4"=1'-0"  
\* GRADE MAY VARY SLIGHTLY ON SITE

BAYLON RESIDENCE		
SCALE: 1/4"=1'-0"	APPROVED BY:	DRAWN BY: TS
DATE: 6-18-21		REVISED:
		DRAWING NUMBER:

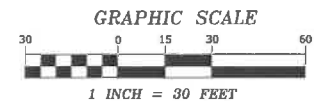
LANDSLAPE PLAN  
2022.03.28



 = DISTURBED AREA TO BE RESTORED TO ORIGINAL STATE.

# CERTIFICATE OF SURVEY

~for~ DIVINE CUSTOM HOMES  
 ~of~ 165 LAKELAND SHORES ROAD  
 WEST LAKELAND TWP, MN



## PROPERTY DESCRIPTION:

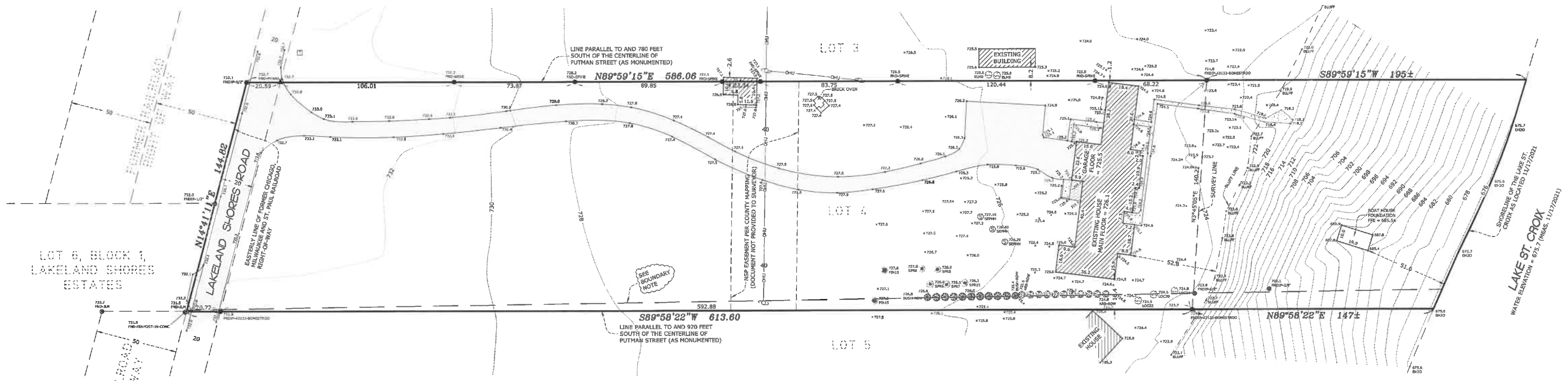
(PER WARRANTY DEED, DOCUMENT NO. 4108585)

All that part of the Village of West Lakeland, Washington County, Minnesota, bound on the south by a line drawn parallel to and 920 feet south of the centerline of Putnam Street; the north line being a line drawn parallel to and 780 feet south of said centerline of Putnam Street; the west line being the easterly line of the right-of-way of the Chicago, Milwaukee and St. Paul Railroad; and the east line being the westerly shore of Lake St. Croix, also described as Lot 4, COUNTY AUDITOR'S PLAT NO. 10.

Reserving a right-of-way for road purposes over and across the westerly 20 feet of the above described tract. Also hereby granting the right-of-way over and across a strip of land 20 feet in width, immediately east of and lying adjacent to said Railroad right-of-way, and running northerly along said Railroad right-of-way from the southerly line of the above described tract to the centerline of Putnam Street aforesaid.

## BOUNDARY NOTE:

A considerable amount of prior survey information was gathered for the purpose of conducting this survey. This included prior surveys completed by Clark Engineering in 1979 (Lot 3); Landmark Surveying in 1992 (Lot 5); Bonestroo in 2008 (Lot 4); Sikich Land Surveying in 2008 (Lot 1); and Cornerstone Land Surveying in 2017 (Lot 3). These surveys, with the exception of the Landmark survey, utilize lines that appear to be parallel to the centerline of Putnam Street. The Landmark survey was a retracement of a 1976 survey completed by Arthur S. Holm. Said survey utilizes a side line bearing that varies by approximately 50 minutes from the rest, and is also depicted for reference.



## NOTES

- Field survey was completed by E.G. Rud and Sons, Inc. on 11/17/2021.
- Bearings shown are on Washington County datum.
- Parcel ID Number: 35.029.20.44.0005.
- This survey was prepared without the benefit of title work. Additional easements, restrictions and/or encumbrances may exist other than those shown hereon. Survey subject to revision upon receipt of a current title commitment or an attorney's title opinion.

## LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES IRON MONUMENT SET, MARKED RLS# 41578
- ⊙ DENOTES FOUND JUDICIAL LANDMARK
- ▲ DENOTES FOUND PKNALL
- x 992.36 DENOTES EXISTING SPOT ELEVATION
- DENOTES LIDAR CONTOURS
- DENOTES TELEPHONE PEDESTAL
- ⊥ DENOTES POWER POLE
- ⊙ DENOTES SEPTIC SEWER MANHOLE
- DENOTES BITUMINOUS SURFACE
- DENOTES CONCRETE SURFACE
- DENOTES PAVER SURFACE

## TREE DETAIL

- DENOTES ELEVATION
- DENOTES TREE QUANTITY
- DENOTES TREE SIZE IN INCHES
- DENOTES TREE TYPE

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD

Date: 12/17/2021 License No. 41578

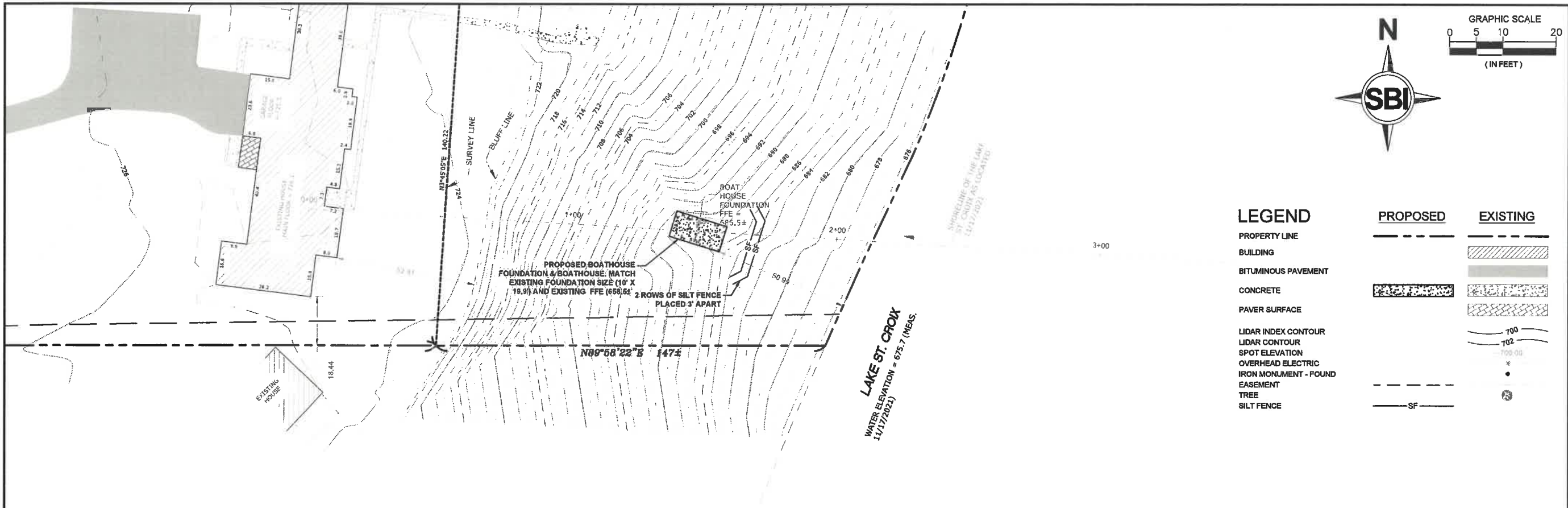
## BENCHMARK

MNDOT GEODETIC STATION: LAKELAND MNDT  
 ELEVATION: 863.59 (NAVD 88 DATUM)

DRAWN BY: BAB	JOB NO: 211241BT	DATE: 11/18/2021	
CHECK BY: JER	FIELD CREW: DT/CT		
1			
2			
3			
NO.	DATE	DESCRIPTION	BY

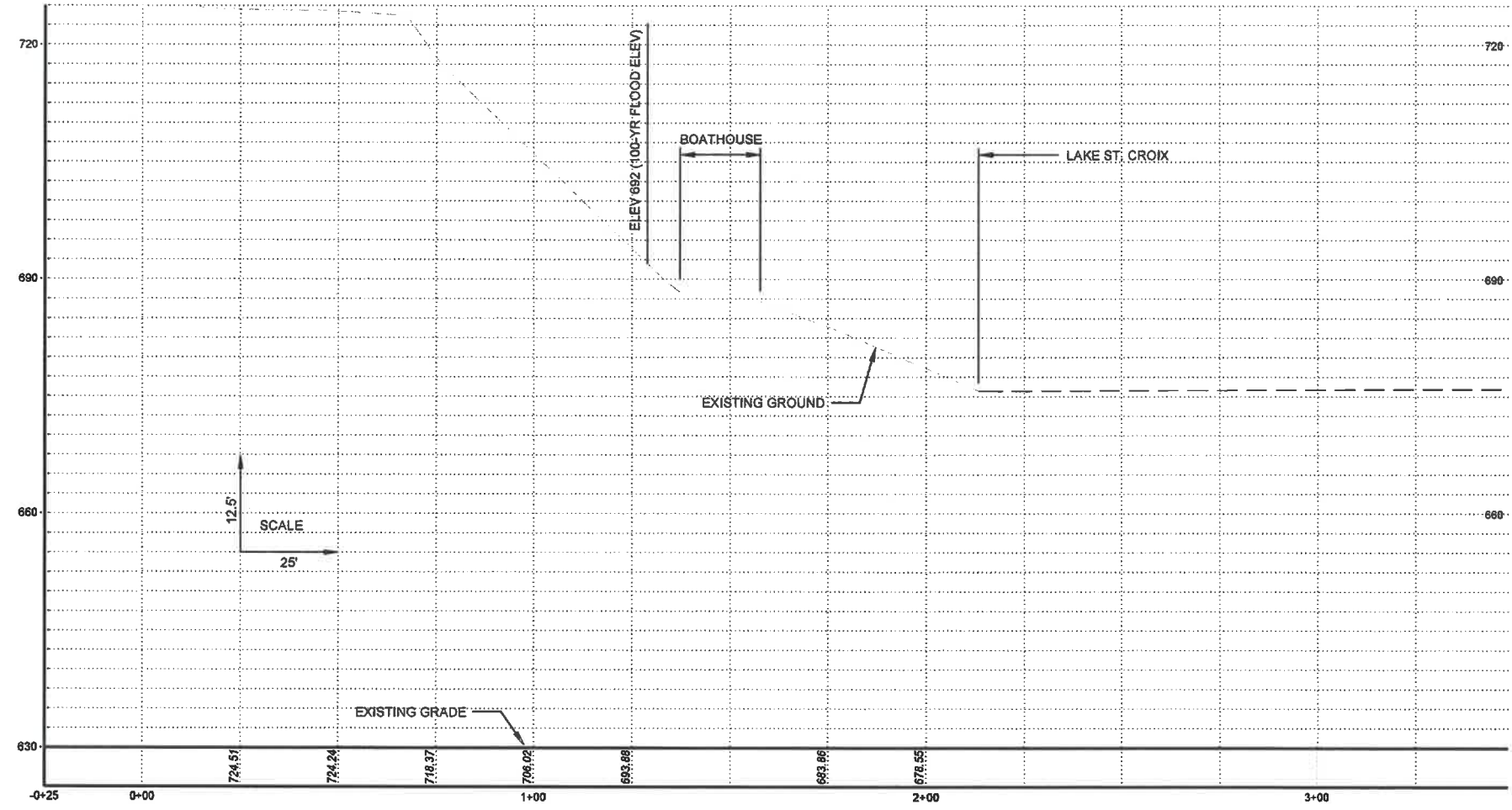
**E.G. RUD & SONS, INC.**  
 EST. 1977 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701

CADD USER: Kathy Melody FILE: C:\Users\KMelody\OneDrive\Projects\202101 - 165 Lakeland Shores - DIVINEWORKING FILES\CADD\DWG\PLAN SHEETS\C200 - GRAD.DWG PLOT SCALE: 1:1 PLOT DATE: 5/13/2022 9:07 AM



**LEGEND**

	PROPOSED	EXISTING
PROPERTY LINE	---	---
BUILDING	---	▨
BITUMINOUS PAVEMENT	---	▨
CONCRETE	▨	▨
PAVER SURFACE	▨	▨
LIDAR INDEX CONTOUR	---	---
LIDAR CONTOUR	---	---
SPOT ELEVATION	---	---
OVERHEAD ELECTRIC	---	---
IRON MONUMENT - FOUND	---	---
EASEMENT	---	---
TREE	---	---
SILT FENCE	SF	SF



**165 LAKELAND SHORES ROAD**  
DIVINE CUSTOM HOMES  
397 EAGLE BLUFF COURT

**SUMMARY**

DESIGNED: KMM DRAWN: KMM  
REVIEWED: SJL  
PHASE: PERMIT INITIAL ISSUE: 01/18/22

**REVISION HISTORY**

#	DATE	DESCRIPTION
2	05/12/2022	WATERSHED COMMENTS

**CERTIFICATION**

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Kathryn M. Melody*  
KATHRYN MELODY  
DATE: 01/18/22 REG. NO. 21770

**ENLARGED SECTION AT BOATHOUSE**

SOLUTION BLUE PROJECT NO: 220101

MNDOT GEODETIC STATION #LAKELAND MNDT  
ELEVATION: 863.59 (NAVD 88 DATUM)

**C202**